

SMALL SCALE LOCATION PLAN
(UNSPECIFIED SCALE)

Scottish Borders Council
Town And Country
Planning (Scotland) Act
1997

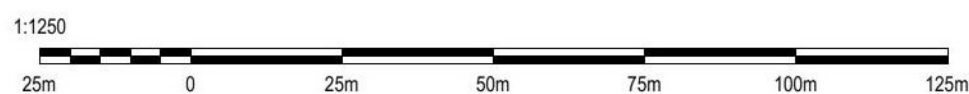
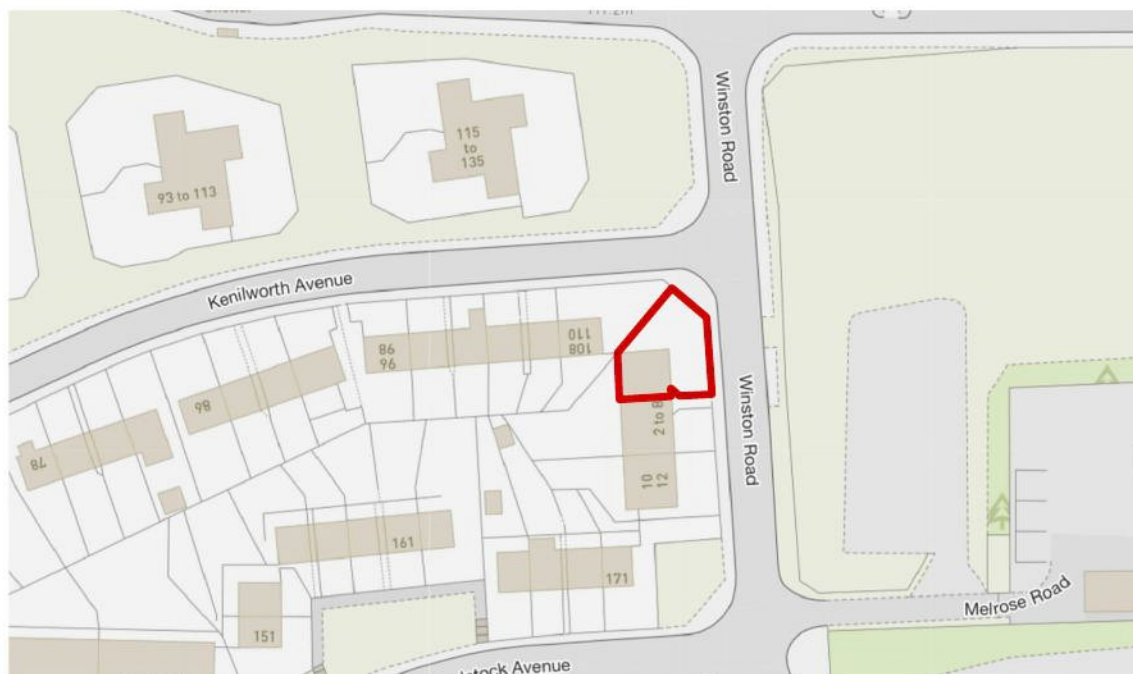
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subject to the requirements
of the associated
Decision Notice

21/01012/FUL
29/07/2021



**LAND OWNED BY APPLICANT OUTLINED IN RED
PROPERTY IS A GROUND FLOOR FLAT**



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CLIENT : **MR C. CAMPBELL**

PROPOSED ALTERATIONS & ERECTION OF SUMMERHOUSE AT:
2 WINSTON ROAD, GALASHIELS
GALASHIELS TD1 2EH

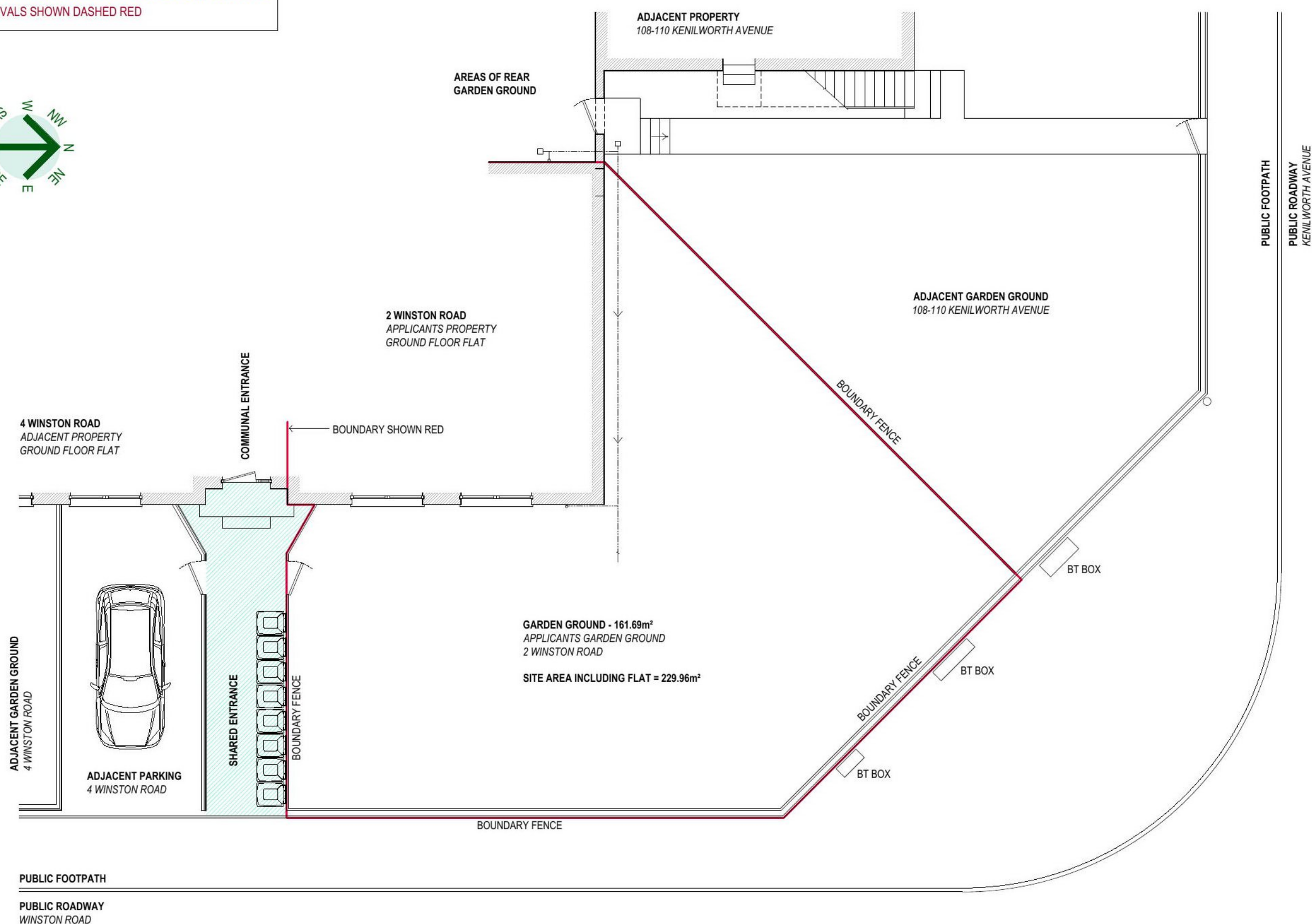
LOCATION PLAN

WARRANT -

SCALE - 1:1250 @ A3

DWG No. **LOC-01** DRAWN / REVISED - **16.06.2021**

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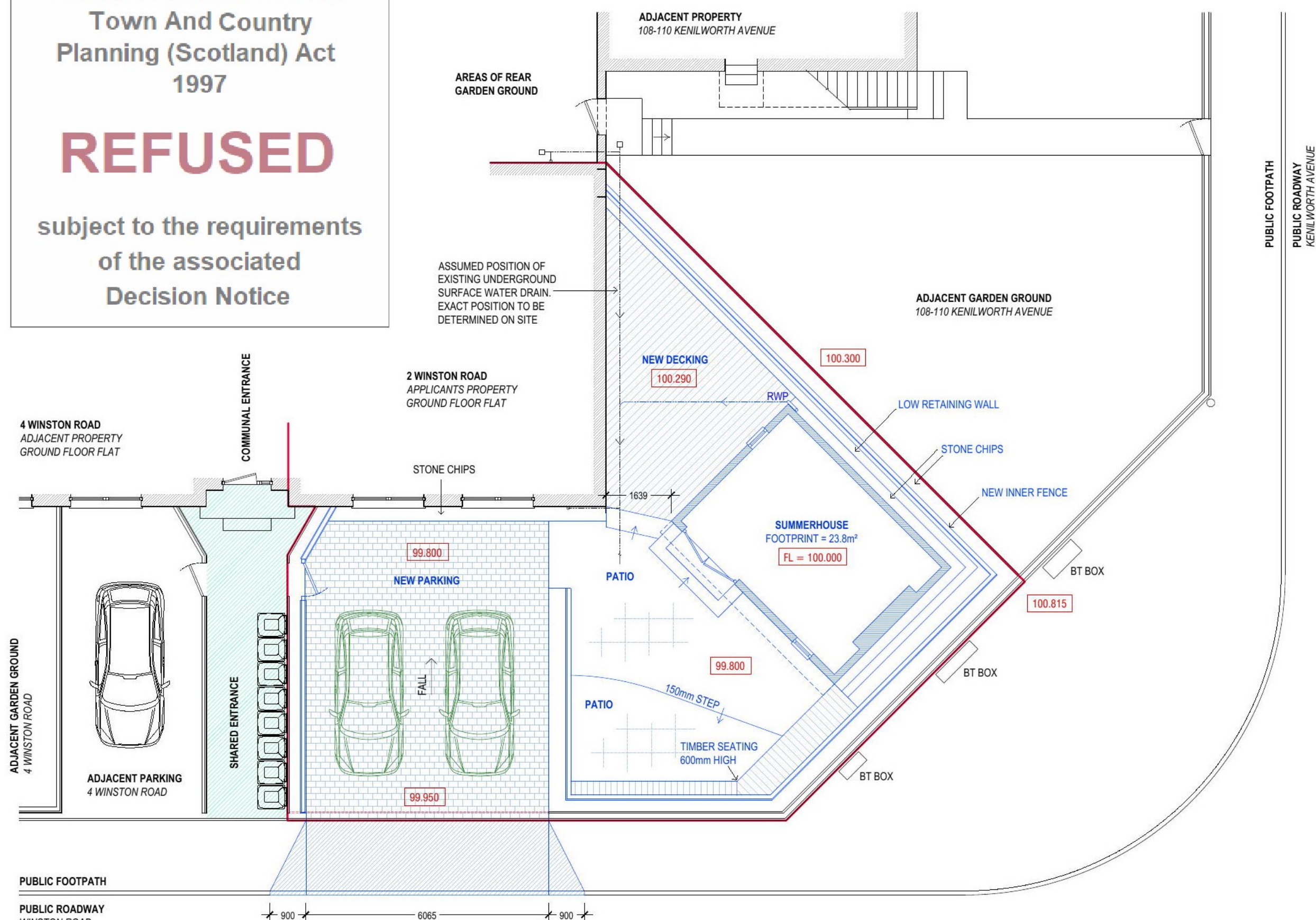


EXISTING SITE PLAN
SCALE 1:100

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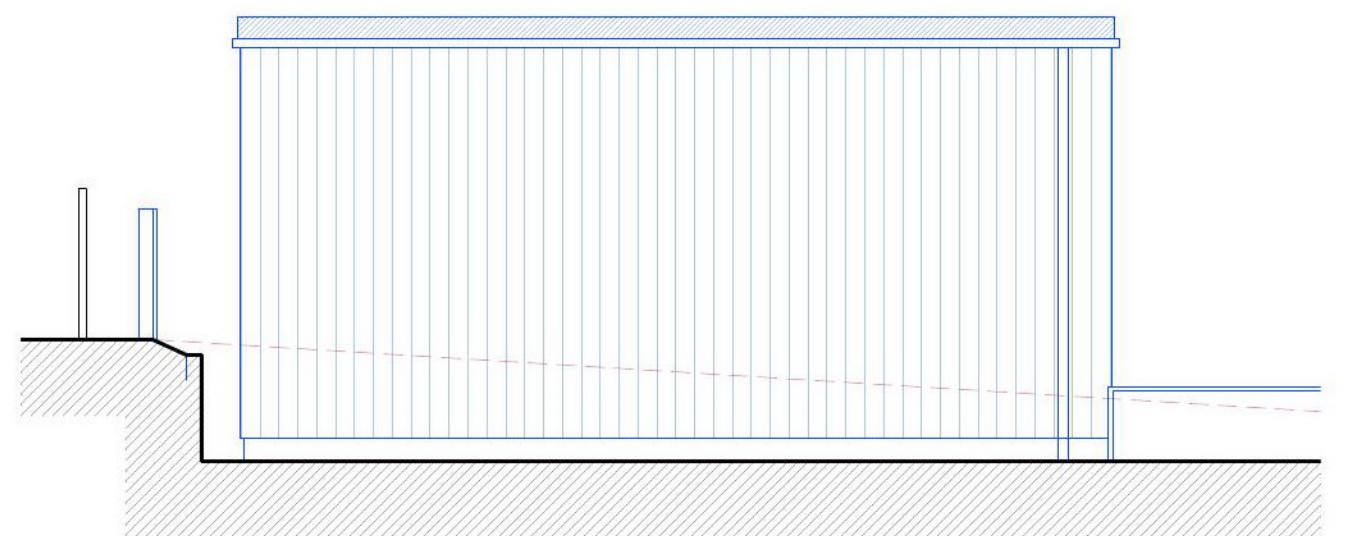
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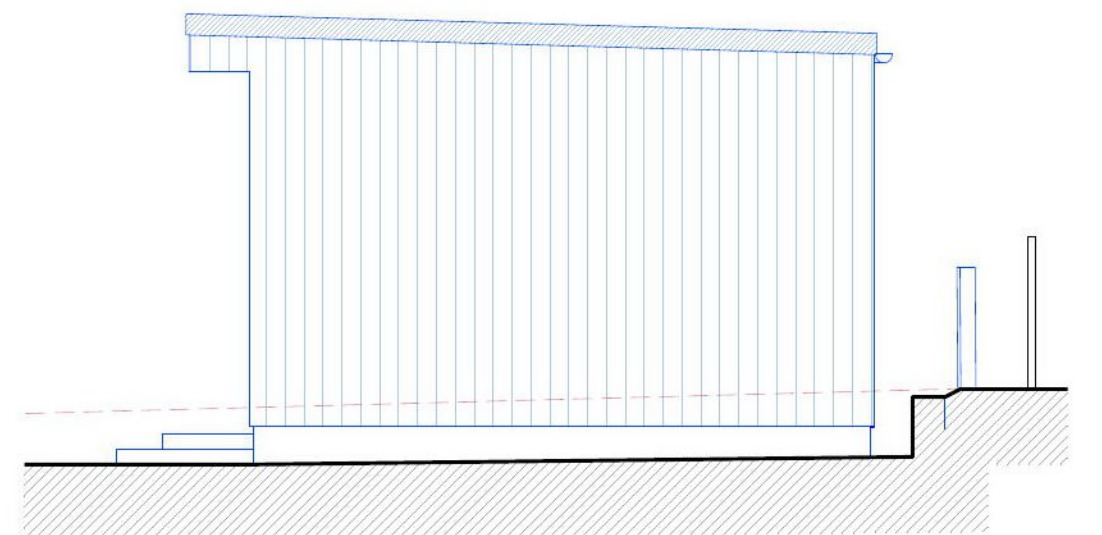
PROPOSED SITE PLAN
SCALE 1:100



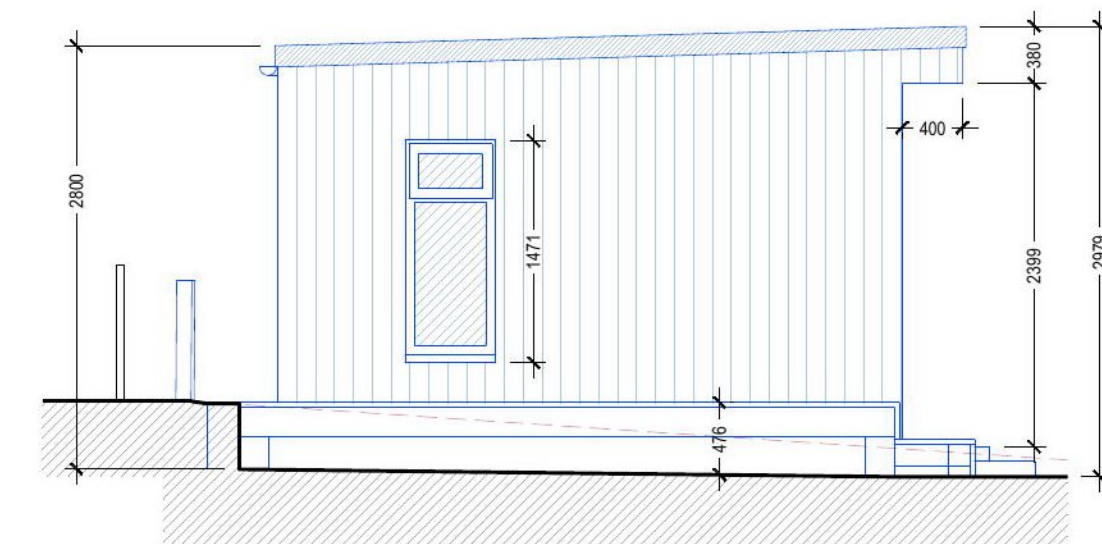
SE (FRONT & PRINCIPAL) ELEVATION
SCALE 1:50



NW (REAR) ELEVATION
SCALE 1:50



NE (SIDE) ELEVATION
SCALE 1:50



SW (SIDE) ELEVATION
SCALE 1:50

SUMMERHOUSE
DARK GREY SINGLE PLY GRP ROOF COVERING.
BLACK HALF ROUND RAINWATER GUTTER & DOWNPIPE.
TREATED HARDWOOD TIMBER CLADDING, NATURAL COLOUR ON INSULATED TIMBER FRAMED
CONSTRUCTION.
WHITE UPVC WINDOWS & FRENCH DOORS.

DRIVEWAY
50mm THICK PAVERS Laid TO FALL AWAY FROM ROAD TO GRAVEL STRIP. ON 30mm SAND BUILDING LAYER ON 10mm 300mm well CONSOLIDATED TYPE 1 HARDCORE, MECHANICALLY COMPACTED IN LAYERS NOT EXCEEDING 150mm.
LAYER OR KIRK WITH TARMAC PAVEMENT COMPRISING: 40mm BITMAC WEARING COURSE; 50mm BASE COURSE; 275mm WELL COMPACTED TYPE 1 GRANULAR SUB BASE. COMPACTED IN LAYERS NOT EXCEEDING 150mm
INCLUDE FOR ASSOCIATED CONCRETE KERBING TO SUIT.
WORKS TO FOOTWAY CROSSING TO BE CARRIED OUT BY AN APPROVED CONTRACTOR AS DETAILED IN THE DRAWINGS.
NOT TO BE APPROVED FOR CONSTRUCTION UNTIL THE NECESSARY PERMITS HAVE BEEN OBTAINED.
APPLICATION FORMS TO BE COMPLETED BY CONTRACTOR TO WORK WITHIN PUBLIC ROAD PRIOR TO WORK COMMENCING ON SITE.
NOTES: PARKING SPACE MAY BE KEPT FOR THE USE OF PRIVATE VEHICLES AT ALL TIMES AND NOT UTILIZED FOR THE USE OF A CARAVAN, BOAT ETC.

PATHS, PATIO & DECKING
PATHS & PATIO - INCLUDE FOR ALTERING AND MAKING GOOD EXISTING PATHS & WALLS ETC SURROUNDING NEW WORKS.
 ANY NEW PATHS & PATIO TO BE NATURAL STONE PAVING SLABS TO CLIENTS SPEC ON 50mm SAND / CEMENT BINDING LAYER, LAID AND MECHANICALLY COMPACTED IN LAYERS NOT EXCEEDING 150mm. OR STONE CHIPS ON MIN 150mm TYPE 1 MECHANICALLY COMPACTED HARDCORE.
 PATHS LAID TO FALL AWAY FROM HOUSE OR TO GRAVEL STRIPS.
DECKING - LOW DECKED AREA WITH PROPRIETARY TREATED TIMBER DECKING ON PREPARED GROUND. DPCs BETWEEN TIMBERS & GROUND.

FENCING

ALTER EXISTING STEEL FENCING AS REQUIRED FOR DRIVEWAY OPENING.

EXISTING STEEL FENCING IS STEPPED TO SUIT GROUND LEVELS WITH AN AVERAGE HEIGHT OF 1m.

NEW TIMBER FENCE ERECTED WITHIN APPLICANTS GARDEN AREA, BEHIND EXISTING STEEL FENCE.

TO COMPRISE OF 100x100mm TREATED TIMBER POSTS INTO POSTCRETE FOUNDATIONS, WITH 150mm DEEP x 20mm THICK HORIZONTAL RAILS.

FENCE STEPPED TO SUIT GROUND LEVELS WITH A MAXIMUM HEIGHT OF 1290mm & AN AVERAGE HEIGHT OF 1000mm.

LOW RETAINING WALL

FORM WALL LOW AROUND NEAR N & S SUMMERHOUSE WALLS:

- FOUNDATION CONCRETE TO BE GRADE RC25 TO BS 5328. WITH AS SHOWN x 250mm STRIP FOUNDATIONS WITH A36 SQUARE REINFORCEMENT BARS WITH 35mm bar SPACING
- 150mm (6") BEDDING SAND TO BE 100mm (4") TO 150mm (6") MORTAR (SULPHATE RESISTING CEMENT: LIME: SAND) ALL IN ACCORDANCE WITH BS-5628. EACH BLOCK Laid FLAT WITH EACH 100mm COURSE TO BE FULLY BONDED AND ALL BED AND END JOINTS MORTAR FILLED.
- MOVEMENT JOINTS TO BE PROVIDED AT (6m) MAXIMUM CENTRES - JOINTS TO BE 10mm wide FILLED WITH FLEXIBLE FILLER MATERIAL (FLEXCEL OR EQUAL) SEALED WITH POLY-SULPHIDE SEALANT (15mm MINIMUM FINISH FACE DEPTH) THICKEN 600 SEALS OR EQUAL QUALITY. COPIES MUST NOT BRIDGE MOVEMENT JOINTS; RENDER BED FINISH TRANSLUCENT OR MATCHING PATTERNT FINISH.
- FINISHED FACE OF WALLS TO BACK RUBBED PATTERNT WITH MASONRY PAINT - ANTHRACITE GRAY COLOUR.
- IMPERVIOUS WATER TO BE BACK FACE OF WALLS - TWO COATS RUBBERISED BITUMINOUS PAINT OR HIGH VISCOSITY TANKING MEMBRANE ON FLUSH POINTS BACK RUBBED SURFACE, PROTECTED WITH A SHEET OF IMPERVIOUS PROTECTION BOARD.
- FREE-DRAINING CLEAN GRADED HARDWARE (TYPE 2) Laid AND HAND COMPACTED IN 300mm Layers TO REAR OF WALL.
- 75mm Ø REEF HOLES @ 1800mm CTRS.

DECORATIVE CONCRETE COPIES TO CLIENTS SPEC SECURED TO WALL HEADS. DPC UNDER COPES.

CONCRETE FINISHING ANY GAS, DRAINAGE, WATER SUPPLY PIPE OR OTHER UTILITY & SERVICES ROUTES AS NECESSARY.

RAINWATER DRAINAGE
112mmØ BLACK UPVC GUTTERING.
68mm TRAPPED & VENTED BLACK UPVC DOWNPIPE WITH HOLDERBATS AT 1800mm CTRS.
HANDHOLE ACCESS TO BE PROVIDED TO BASE OF NEW RAINWATER PIPE.
RAINWATER DRAINAGE TAKEN FROM TRAPPED & VENTED DOWNPIPE TO EXISTING PUBLIC SURFACE WATER SYSTEM.

UNDERGROUND DRAINAGE

100MM HDPE/UPVC DRAINAGE PIPES SURROUNDED IN PIPE BEDDING PEA GRAVEL, COMPLYING WITH BSEN 13242 WITH MIN 100MM TO BASE AND SIDES, AND 100MM ABOVE.

INCLUDE FOR ALL ASSOCIATED PROPORTION FITTINGS AND ACCESSORIES.

SURFACE WATER DRAIN TO BE LAID WITH MINIMUM GRADIENT OF 1:80.

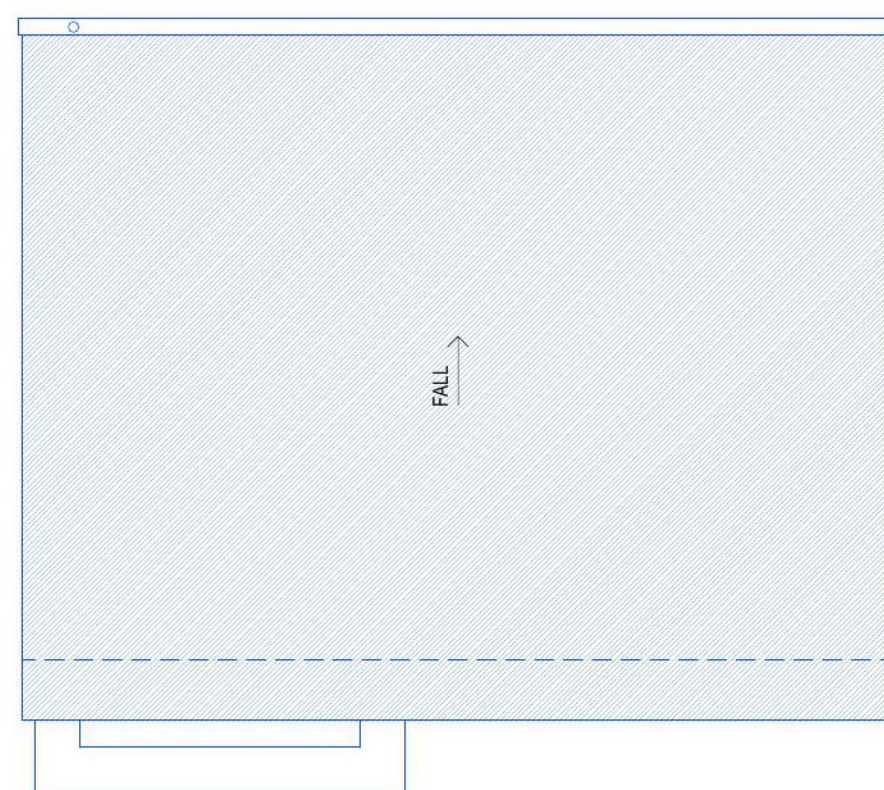
POSITION & INVERT LEVELS OF EXISTING DRAINAGE TO BE DETERMINED PRIOR TO INSTALLATION OF ANY NEW UNDERGROUND DRAINAGE IN ORDER TO ESTABLISH THE FEASIBILITY OF ROUTES AND CONNECTIONS SHOWN.

ALL DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF BSEN 12056-2, BSEN 12056-3 AND BSEN 752-3.

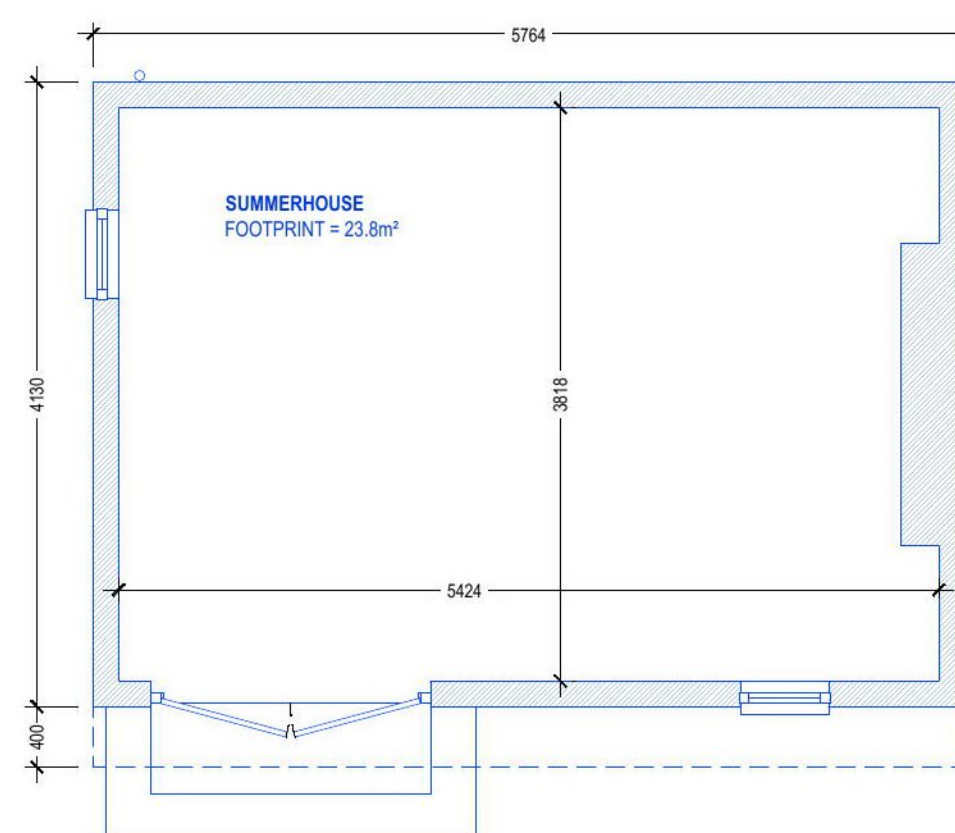
INCLUDE FOR RE-ROUTING ANY EXISTING DRAINAGE / WATER, GAS OR OIL SUPPLY / ELECTRIC OR OTHER UTILITY SUPPLIES AS REQUIRED.

ALL WORKS TO BE IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND LOCAL WATER AUTHORITY REQUIREMENTS.

INCLUDE FOR RE-ROUTING IF NECESSARY ANY EXISTING DRAINAGE, ELECTRIC CABLEING, WATER OR GAS SUPPLY PIPES.



PROPOSED ROOF PLAN
SCALE 1:50



PROPOSED SUMMERHOUSE FLOOR PLAN
SCALE 1:50

- **GENERAL**
- ALL NEW WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING (SCOTLAND) REGULATIONS 2014 AND ALL CURRENT AMENDMENTS;
- ALL NEW WORKS, PRODUCTS & PROCESSES TO BE IN ACCORDANCE WITH THE RELEVANT BRITISH STANDARDS AND MANUFACTURERS GUIDANCE.
- WORKS TO BE CARRIED OUT IN ACCORDANCE WITH FULL SET OF ARCHITECTURAL DRAWINGS & SPECIFICATION; ANY DETAILS PROVIDED BY SPECIALISTS, STRUCTURAL ENGINEER OR OTHER CONSULTANTS;
- ANY NOTES, INSTRUCTIONS, GUIDELINES OR COMMENTS FROM LOCAL AUTHORITIES OR OTHER STATUTORY BODIES.
- CONTRACTOR TO ENSURE THAT BUILDING AND BUILDING SITE IS KEPT SAFE AND SECURE & CLOSED AGAINST UNAUTHORIZED ENTRY UNTIL WORKS ARE COMPLETE AND THAT ADEQUATE CARE IS TAKEN TO PROTECT MEMBERS OF PUBLIC FROM DANGER.
- CONTRACTOR TO ENSURE ADJACENT FOOTPATHS & ROADS ARE KEPT UNOBSTRUCTED, AND REGULARLY SWEEPED & KEPT FREE FROM ANY MUD OR DUST DURING THE CONSTRUCTION PROCESS.
- DO NOT SCALE OFF PAPER DRAWINGS.
- ALL SIZES TO BE CHECKED IN ON SITE BY CONTRACTOR.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
- DESIGNER TO BE CONSULTED PRIOR TO ANY ON SITE CHANGES BEING MADE TO THE ARCHITECTURAL DRAWINGS & SPECIFICATION.
- ALL WORKS TO BE CARRIED OUT BY COMPETENT CONTRACTORS AND IN STRICT COMPLIANCE WITH THE: CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015 (CDM 2015).
- CLIENTS & CONTRACTORS MUST REFER TO REGULATION 8 IN THE FOLLOWING LINK:
<http://www.hse.gov.uk/controlsafety/cdm2015responsibilities.htm>

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CLIENT: **MR C. CAMPBELL**

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2 WINSTON ROAD, GALASHIELS
GALASHIELS TD1 2EH

EXISTING & PROPOSED PLANS & ELEVATIONS

WARRANT - N/A	PLANNING - 100425258
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DWG No. **PL-01** DRAWN / REVISED - **16.06.2021**

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